

GENERAL NOTES

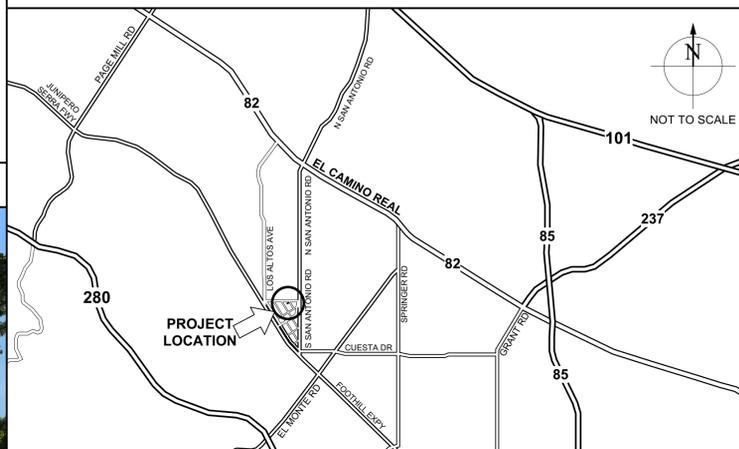
1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURE AND FOR ALL SAFETY PROGRAMS AND PRECAUTIONS IN CONNECTION WITH THE PROJECT. NEITHER THE OWNER NOR THE ARCHITECT IS RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW PROPER SAFETY PROCEDURES.
2. ALL CODES HAVING JURISDICTION ARE HEREBY MADE A PART OF THIS DOCUMENT AND ARE TO BE STRICTLY OBSERVED BY THE CONTRACTOR IN THE CONSTRUCTION OF THE PROJECT. IN THE EVENT OF CONFLICT BETWEEN THESE DOCUMENT AND THE CODE, THE CODE SHALL PREVAIL. ANY CONFLICT OR DISCREPANCY SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
3. ALL WORK, TO BE ACCEPTABLE, MUST BE IN COMPLIANCE WITH THESE DRAWINGS AND SPECIFICATIONS, AND MUST BE OF A QUALITY EQUAL OR BETTER THAN THE STANDARD OF THE TRADE. FINISHED WORK SHALL BE FIRM, WELL-ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE.
4. CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER, RAIN, WINDSTORMS, OR HEAT SO AS TO MAINTAIN ALL WORK, MATERIALS, EQUIPMENT AND APPARATUS FREE FROM INJURY OR DAMAGE.
5. CONTRACTOR SHALL VISIT THE SITE OF THE PROJECT, EXAMINE FOR HIMSELF/THEMSELVES THE NATURE OF THE EXISTING CONDITIONS AND ALL OTHER CONDITIONS RELEVANT TO THE SATISFACTORY COMPLETION OF THE PROJECT. SUBMISSION OF A BID FOR CONSTRUCTION SHALL BE CONSIDERED EVIDENCE OF SUCH EXAMINATION BY THE CONTRACTOR.
6. BEFORE ORDERING MATERIAL OR COMMENCING WORK WHICH IS DEPENDENT FOR THE PROPER SIZE AND INSTALLATION UPON COORDINATION WITH CONDITIONS IN THE BUILDING, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS. ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND THE EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENTS BEFORE ANY WORK BEGINS OR MATERIALS ARE PURCHASED.
7. MATERIALS, PRODUCTS AND EQUIPMENT SHALL ALL BE NEW, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL DEBRIS IN A LOCATION OF THE PROPERTY APPROVED BY THE OWNER AND SHALL REMOVE SAME IN A TIMELY MANNER DURING THE COURSE OF WORK.
9. CONTRACTOR SHALL REMOVE FROM SITE ANY IMPROVEMENTS NECESSARY FOR COMPLETION OF THE PROJECT, PROTECT FROM DAMAGE OR INJURY ALL EXISTING TREES, LANDSCAPING AND IMPROVEMENTS INDICATED BY THE ARCHITECT.
10. EXCAVATE ALL FOOTINGS AS INDICATED ON THE DRAWING TO REACH SOLID UNDISTURBED SOIL. BOTTOMS OF EXCAVATIONS SHALL BE LEVEL, CLEAN AND DRY AND AT THE ELEVATIONS INDICATED ON THE STRUCTURAL DRAWINGS. COORDINATE WITH SOILS ENGINEER.
11. PROVIDE FINISH GRADES TO DRAIN AWAY FROM THE FOUNDATIONS ON ALL SIDES OF THE BUILDING. SEE CIVIL DRAWINGS
12. CONTRACTOR TO PRECISELY LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION AND/OR EXCAVATION.
13. WORK HOURS: CONSTRUCTION, DELIVERIES, AND OR SERVICING OF ANY ITEM ON SITE SHALL BE PROHIBITED BEFORE 8:00 AM AND AFTER 5:00 PM, WEEKDAYS, ALL DAY SATURDAY, SUNDAY AND HOLIDAYS.
14. CONSTRUCTION PARKING IS PERMITTED ONLY ON THE SITE AND ONLY ON THE SIDE OF THE STREET FRONTING THE PROPERTY FOR WHICH THE PERMIT IS ISSUED.
15. SURVEYOR IS REQUIRED TO PROVIDE LETTERS VERIFYING THE STRUCTURE IS LOCATED AS APPROVED ON THE PLANS FOR SETBACKS PRIOR TO POURING ANY CONCRETE AND VERIFYING THE HEIGHT OF THE STRUCTURE IS AS SHOWN ON THE PLANS AT FRAME INSPECTION.
16. THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING EXCAVATION OF FOUNDATIONS, PIER DRILLING, UNDERPINNING, PREPARATION OF SUBGRADE BENEATH SLABS-ON-GRADE, PLACEMENT AND COMPACTION OF ENGINEERED FILL, AND SURFACE DRAINAGE INSTALLATION SHOULD BE PERFORMED IN ACCORDANCE WITH THE ORIGINAL GEOTECHNICAL REPORT PREPARED BY EARTH SYSTEMS PACIFIC DATED NOVEMBER 22, 2019. EARTH SYSTEMS PACIFIC SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTICE OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.

# 4 NEW TOWNHOMES AT 14 4TH STREET

## VIEW FROM FOURTH STREET



## VICINITY MAP



## PROJECT DESCRIPTION

**THIS PROJECT INVOLVES : CONSTRUCTION OF 4 MARKET RATE TOWNHOUSE UNITS WITH A CONDO MAP AND SEMI-SUBTERRANEAN PARKING**

ADDRESS: 14 4TH STREET  
LOS ALTOS, CA 94022

OWNERS: 14.4TH STREET LLC  
ARCHITECT: CHRIS KUMMERER, ARCHITECT  
PH: (650) 233-0342  
E-MAIL: CHRIS@CKA-ARCHITECTS.COM

## FIRE SPRINKLER NOTE

A RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS. PROVIDE A FULL FIRE SPRINKLER SYSTEM LISTED FOR RESIDENTIAL USE (CRC R313.3.2) AND SHALL BE INSTALLED IN ACCORDANCE WITH SPRINKLER MANUFACTURER'S INSTALLATIONS INSTRUCTIONS UNDER SEPARATE PERMIT. AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH CFMO-SP6 THROUGHOUT THE DWELLING TO INCLUDE ANY ACCESSORY STRUCTURE IN EXCESS OF 1,000 SQ.FT. SPRINKLER PLAN TO INDICATE LOCATION OF WATER SUPPLY, SPRINKLER AND PIPING MATERIALS PER CRC R313.3.1.1, R313.3.2, R313.3.2.2 & R313.3.2.4. CONTRACTOR TO PROVIDE FIRE SPRINKLER FLOW RATE AND PIPE SIZING CALCULATION FOR REVIEW PER R313.3.2 & R313.3.6. FINAL SPRINKLER INSTALLATION SHALL INCLUDE THE SIGN OR VALVE TAG REQUIRED BY CRC R313.3.7 AND THE OWNER'S MANUAL FOR THE SYSTEM PER CRC313.3.8.2.

## SHEET INDEX

- GENERAL INFORMATION**
- A0.0 COVER SHEET
  - A0.1 CLIMATE ACTION CHECKLIST AND RENDERINGS
- ARCHITECTURAL**
- A1.0 SITE PLAN
  - A1.1 STREET ELEVATIONS
  - A1.2 FLOOR AREA CALCULATIONS
  - A2.0 BASEMENT PLAN
  - A2.1 1ST FLOOR PLAN
  - A2.2 2ND FLOOR PLAN
  - A2.3 ROOF PLAN
  - A2.4 PRELIMINARY LANDSCAPE PLAN
  - A3.0 EXTERIOR ELEVATIONS
  - A3.1 EXTERIOR ELEVATIONS
  - A4.0 SECTIONS
  - A4.1 DESIGN CONTROL 1
  - A4.2 DESIGN CONTROL 2
- CIVIL SURVEY**
- C-1.0 GRADING AND DRAINAGE PLAN
  - C-1.1 UTILITY PLAN

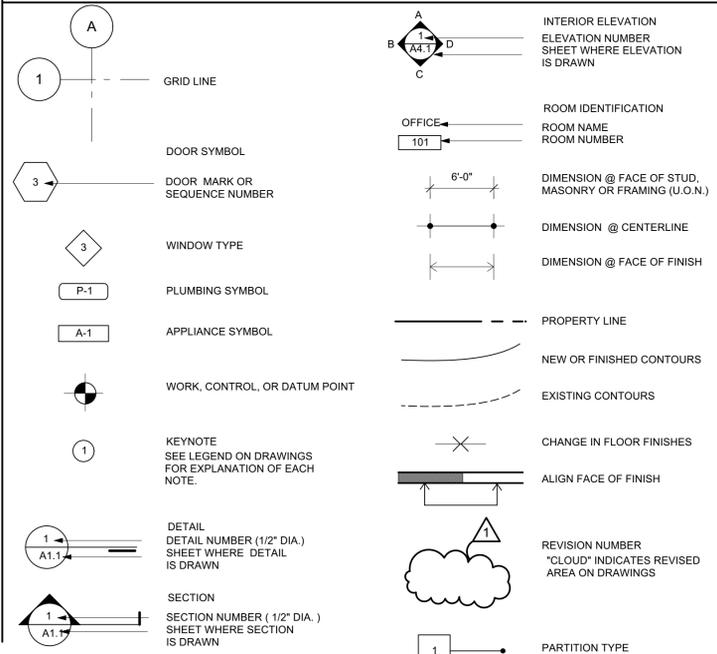
## ABBREVIATIONS

&	AND	MISC.	MISCELLANEOUS
@	AT	MTL./MET.	METAL
Ø	DIAMETER or ROUND	N.	NORTH
ACQUSJ.	ACQUISTICAL	(N) or NEW	NEW
ADJ.	ADJUSTABLE	N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISHED FLOOR	NO. or #	NUMBER
APPROX.	APPROXIMATE	N.T.S.	NOT TO SCALE
ARCH.	ARCHITECTURAL	OVER	ON CENTER
BLDG.	BUILDING	O.C.	OUTSIDE DIAMETER
BLKG.	BLOCKING	OPNG.	OPENING
BM.	BEAM	P.E.N.	PLYWOOD EDGE NAILING
CAB.	CABINET	PERF.	PERFORATED
C.J.	CONTROL JOINT	PL.	PLATE OR PROPERTY LINE
CLG.	CEILING	PLAM.	PLASTIC LAMINATE
CLO.	CLOSET	PLYWD.	PLYWOOD
CLR.	CLEAR	PREFAB.	PREFABRICATED
C.M.U.	CONCRETE MASONRY UNIT	P.T.D.	PAPER TOWEL DISPENSER
C.O.	CLEANOUT or CASED OPENING	P.T.D.F.	PRESSURE TREATED
COL.	COLUMN	DOUGLAS FIR	DOUGLAS FIR
CONC.	CONCRETE	R.	RISER
C.T.	COLLAR TIE	RAD.	RADIUS
C.W.	COLD WATER	R.D.	ROOF DRAIN
DBL.	DOUBLE	REF.	REFERENCE
DEPT.	DEPARTMENT	REINF.	REINFORCE
DET.	DETAIL	REQ'D	REQUIRED
D.F.	DOUGLAS FIR	R.O.	ROUGH OPENING
DIA.	DIAMETER	RWD.	REDWOOD
DIM.	DIMENSION	R.W.L.	RAIN WATER LEADER
DN.	DOWN	S.A.S.	SURFACED 4 SIDES
DS.	DOWNSPOUT	S.C.	SOLID CORE
DW.	DISHWASHER	SCHED.	SCHEDULE
DWG.	DRAWING	S.D.	SMOKE DETECTOR
EA.	EACH	SEL.	SELECT
E.J.	EXPANSION JOINT	SHT.	SHEET
ELECT./ELEC.	ELECTRICAL	SIM.	SIMILAR
ENCL.	ENCLOSURE	SPEC.	SPECIFICATION(S)
E.O.S.	EDGE OF SLAB	SQ.	SQUARE
EQ.	EQUAL	S.ST.	STAINLESS STEEL
EXST or (E)	EQUIPMENT	STAND.	STANDARD
EQUIP	EXISTING	STL.	STEEL
EXP.	EXPANSION	STOR.	STORAGE
G.S.M.	GALVANIZED SHEET METAL	STRUCT./STR.	STRUCTURAL
GYP. BD	GYPNUM BOARD	SUSP.	SUSPEND
GYP.	GYPNUM	SYM.	SYMBOL or SYMMETRICAL
H.B.	HOSE BIB	T.&B.	TOP AND BOTTOM
H.C.	HOLLOW CORE	T.&G.	TONGUE AND GROOVE
HDWR./HDWE.	HARDWARE	T.	TREAD
H.M.	HOLLOW METAL	TEL.	TELEPHONE
HORIZ.	HORIZONTAL	THRU	THROUGH
HT./HGT.	HEIGHT	T.O.C.	TOP OF CURB
HTR.	HEATER	T.O.P./TP	TOP OF PAVEMENT
H.W.	HOT WATER	T.O.W./TW	TOP OF WALL
HDWD.	HARDWOOD	T.P.H.	TOILET PAPER HOLDER
I.D.	INSIDE DIAMETER (DIM.)	T.P.D.	TOILET PAPER DISPENSER
IN. or (*)	INCH OR INCHES	TV.	TELEVISION
INSUL.	INSULATION	TYP.	TYPICAL
INT.	INTERIOR	U.O.N.	UNLESS OTHERWISE NOTED
JAN.	JANITOR	VERT.	VERTICAL
JST.	JOIST	V.G.	VERTICAL GRAIN
KIT.	KITCHEN	w/	WITH
LAM.	LAMINATE	w/o	WITHOUT
LAV.	LAVATORY	W.C.	WATER CLOSET
MAX.	MAXIMUM	WD.	WOOD
MECH.	MECHANICAL	W.H.	WATER HEATER
MEZZ.	MEZZANINE	WP.	WATERPROOF
MFR.	MANUFACTURER	W.W.F.	WELDED WIRE FABRIC
MIN.	MINIMUM		

## CONSULTANTS

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<b>SURVEY:</b> MOUNTAIN PACIFIC SURVEYS 1735 ENTERPRISE DR, SUITE 109, FAIRFIELD, CA 94533 707-425-6234 EMAIL:	<b>JOINT TRENCH:</b>	<b>LANDSCAPE:</b>	<b>INTERIOR DESIGN:</b> ZAHARIAS DESIGN 2043 OAKLEY AVE, MENLO PARK, CA 94025 EMAIL: stephanie@zahariasdesign.com

## SYMBOL KEY



## PROJECT SUMMARY

APN No.: 167-38-061  
**LAND USE MAP:** MEDIUM DENSITY MULTI-FAMILY (MDMF)  
**ZONING MAP:** MULTIPLE FAMILY (R3-1)  
**DOWNTOWN VISION PLAN:** EDITH AVENUE DISTRICT  
**LOT SIZE:** 7,038 SF (0.1616 ACRES)

**NOTE:** EXISTING ±1,302 SF RESIDENCE AND ±493 SF GARAGE TO BE DEMOLISHED

**PARKING:**  
4 PROPOSED 2-BEDROOM DWELLING UNITS  
8 PROPOSED UNDERGROUND, OFF-STREET PARKING SPACES (2 PER UNIT)  
1 PROPOSED ON-SITE VISITOR PARKING SPACE (1 PER 4 UNITS)

**SETBACKS: (SEE SHEET A1.1)**

FRONT SETBACK: 20'-0"  
REAR SETBACK: 25'-0"  
SIDE SETBACKS: 7'-6"  
2ND STORY SIDE SETBACK: 12'-6"  
EXCEPTIONS INCLUDE 4'-0" MAXIMUM ENCROACHMENT FOR CANOPIES, CHIMNEYS CORNICES, EAVES, OVERHANGS

**MAXIMUM HEIGHT: 35'-0"**  
**PROPOSED MAXIMUM HEIGHT: ±33'-4"**

**MAXIMUM ALLOWABLE COVERAGE:** 2,815 SF (40% OF SITE)  
(14.02.070 DEFINITIONS NET SITE AREA COVERED IN STRUCTURES IN EXCESS OF 6 FEET IN HEIGHT MEASURED TO THE OUTSIDE OF SURFACES OF EXTERIOR WALLS AND THE PERIMETER OF ANY SUPPORTS.)

**PROPOSED COVERAGE:** 2,814 SF

AFFORDABLE HOUSING REQUIREMENTS APPLY TO PROJECTS WITH 5 OR MORE DWELLING UNITS

## GEOTECHNICAL NOTE

EARTH SYSTEMS PACIFIC IS THE GEOTECHNICAL ENGINEER FOR THE PROJECT. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT PRIOR TO BEGINNING EXCAVATION. THE CONTRACTOR SHALL CONSULT WITH THE GEOTECHNICAL ENGINEER DURING EXCAVATION TO DETERMINE OPTIMAL FOUNDATION DEPTH BASED UPON FIELD CONDITIONS. SLABS, FOOTINGS AND PAVING SHALL BE CONSTRUCTED IN CONFORMANCE WITH GEOTECHNICAL ENGINEERING SPECIFICATIONS. SOILS ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION PER SOIL REPORT RECOMMENDATIONS.

## DEFERRED SUBMITTALS

- SOLAR POWER
- CONDOMINIUM MAP SUBMITTAL
- DEMOLITION PERMIT SUBMITTAL
- FIRE SPRINKLER DESIGN SUBMITTAL

## APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING CODE AND CURRENT LOCAL BUILDING AND ZONING CODES



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REVISIONS:  
2.16.2022 PRELIMINARY PLANNING  
COMMISSION SUBMITTAL

14 4TH STREET

14 4TH STREET, LOS ALTOS, CA 94022  
APN# 167-38-061

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COVER SHEET

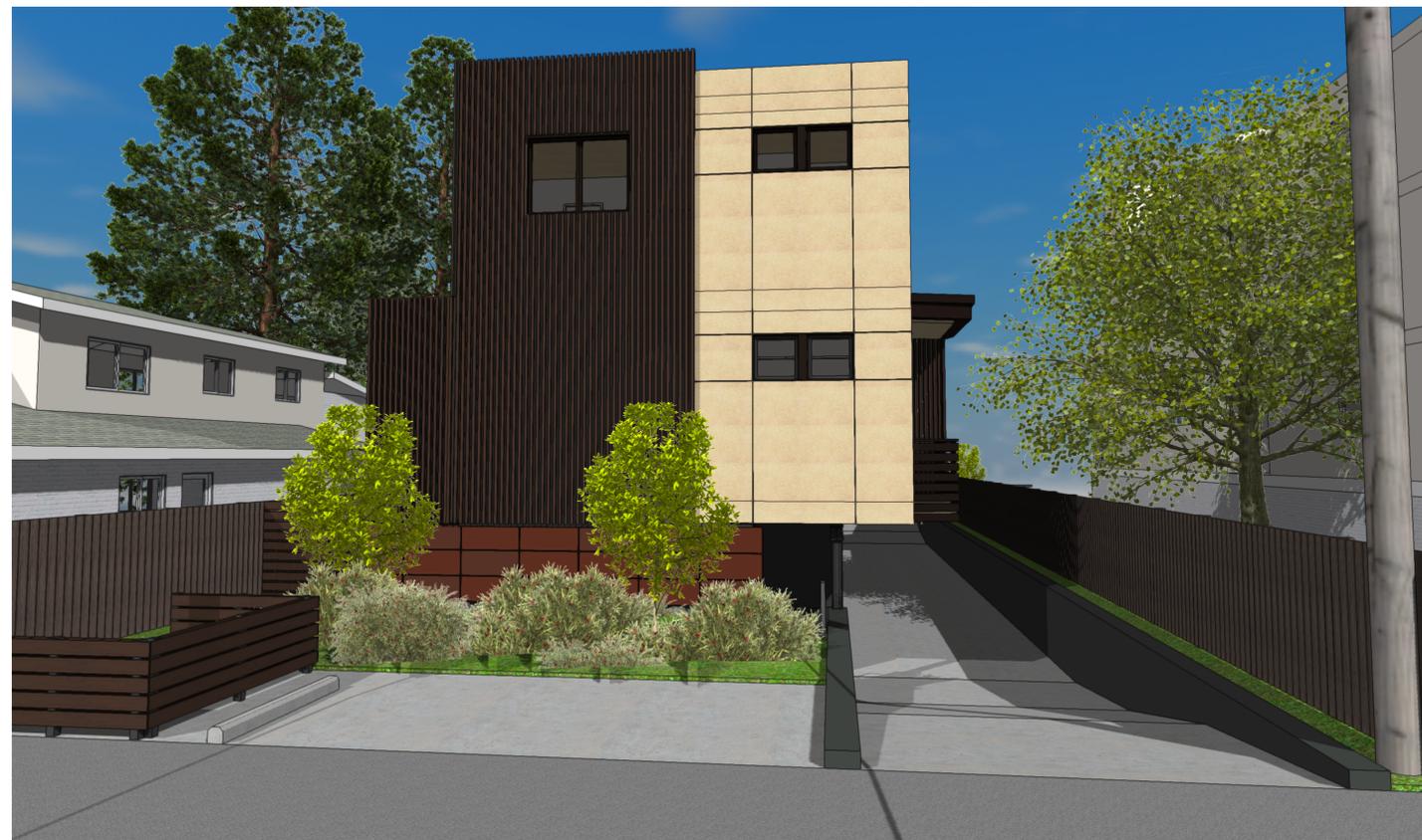
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Climate Action Plan Best Management Practice Checklist

Best Management Practice Required	Applicable to	Describe Project Compliance
<b>1.1 Improve Non-Motorized Transportation</b>		
<input checked="" type="checkbox"/> Provide end-of-trip facilities to encourage alternative transportation, including showers, lockers, and bicycle racks.	Nonresidential projects greater than 10,000 square feet	
<input checked="" type="checkbox"/> Connect to and include non-motorized infrastructure on-site.	Nonresidential projects greater than 10,000 square feet	
<input checked="" type="checkbox"/> Where appropriate, require new projects to provide pedestrian access that internally links all surrounding uses. Applicable to all new commercial and multiple-family development.	Nonresidential projects greater than 10,000 square feet	
<b>1.2 Expand Transit and Commute Options</b>		
<input checked="" type="checkbox"/> Develop a program to reduce employee VMT.	Nonresidential projects greater than 10,000 square feet (or expected to have more than 50 employees)	
<b>1.3 Provide Alternative-Fuel Vehicle Infrastructure</b>		
<input checked="" type="checkbox"/> Comply with parking standards for EV pre-wiring and charging stations.	New and substantially remodeled residential units Nonresidential projects greater than 10,000 square feet	
<b>2.2 Increase Energy Efficiency</b>		
<input type="checkbox"/> Comply with the Green Building Ordinance.	All new construction and remodels greater than 50%	
<input type="checkbox"/> Install higher-efficiency appliances.	All new construction and remodels greater than 50%	
<input type="checkbox"/> Install high-efficiency outdoor lights.	All new construction and remodels greater than 50%	
<input type="checkbox"/> Obtain third-party commissioning.	HVAC All new nonresidential construction and remodels greater than 50%	
<b>3.1 Reduce and Divert Waste</b>		
<input type="checkbox"/> Develop and implement a Construction & Demolition (C&D) waste plan.	All demolition or new construction projects	
<b>3.2 Conserve Water</b>		
<input type="checkbox"/> Reduce turf area and increase native plant landscaping.	All new construction	
<b>3.3 Use Carbon-Efficient Construction Equipment</b>		
<input type="checkbox"/> Implement applicable construction equipment best practices.	BAAQMD All new construction	
<b>4.1 Sustain a Green Infrastructure System and Sequester Carbon</b>		
<input checked="" type="checkbox"/> Create or restore vegetated common space.	Residential or nonresidential projects greater than 10,000 square feet	
<input checked="" type="checkbox"/> Establish a carbon sequestration project or similar off-site mitigation strategy.	Residential or nonresidential projects greater than 10,000 square feet	
<input type="checkbox"/> Plant at least one well-placed shade tree per dwelling unit.	New residential construction	
<b>5.1 Operate Efficient Government Facilities</b>		
<input checked="" type="checkbox"/> Incorporate the use of high-albedo or porous pavement treatments into City projects to reduce the urban heat island effect.	All City-funded or sponsored construction projects	



VIEW FROM EDITH CORNER



VIEW FROM ALLEY



VIEW FROM 4TH ST DRIVEWAY



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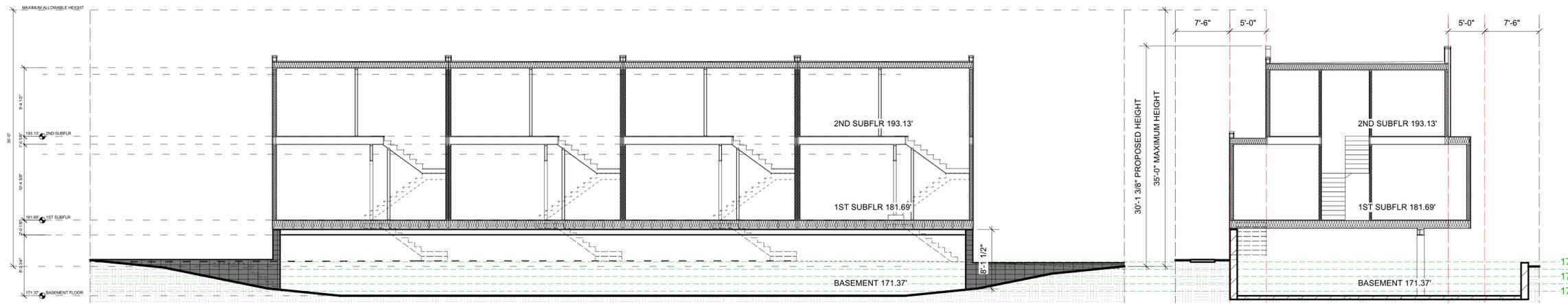


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RENDERINGS

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**2 SITE SECTION**  
Scale: 1/8" = 1'-0"

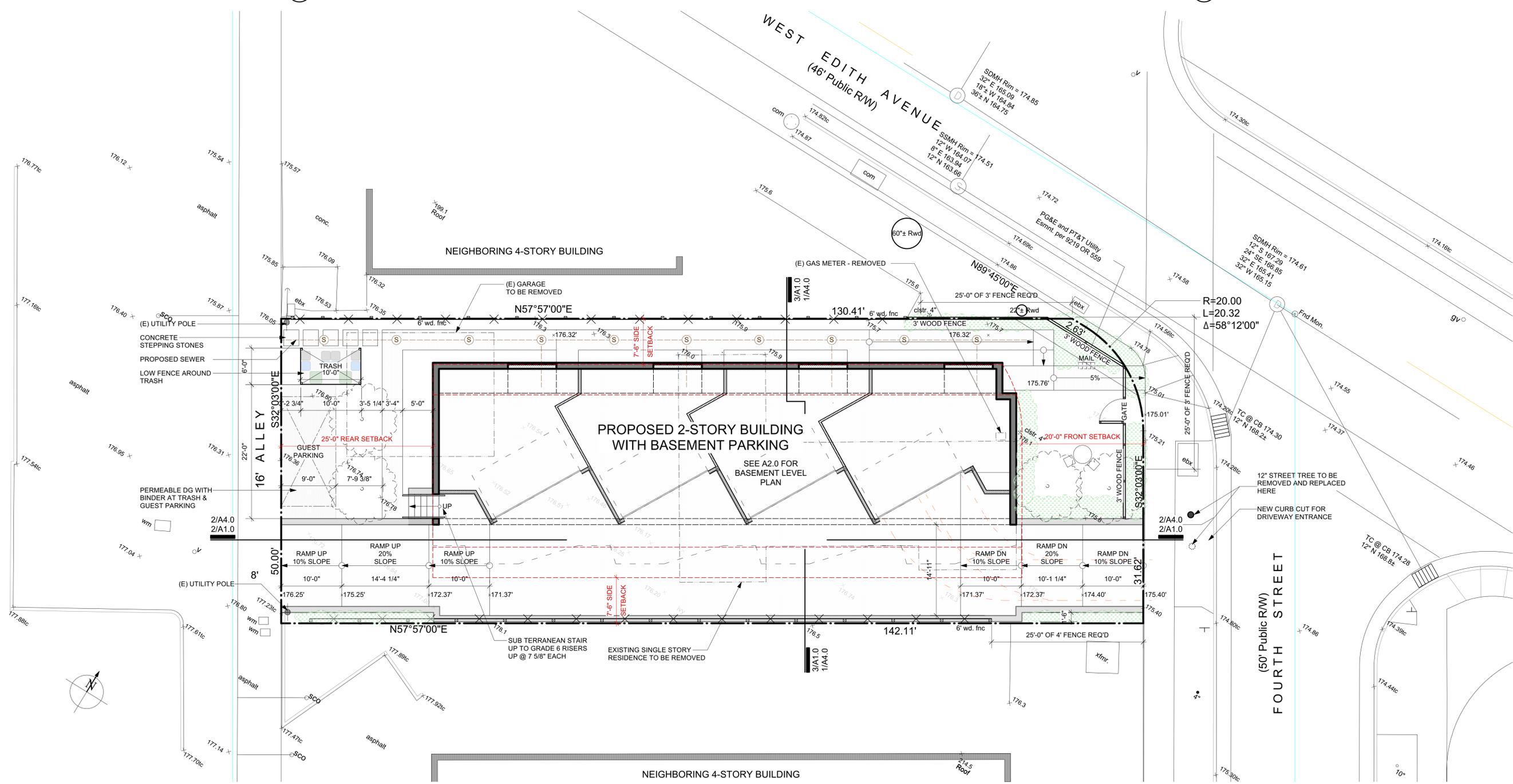
**3 SITE SECTION**  
Scale: 1/8" = 1'-0"



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176  
174  
172



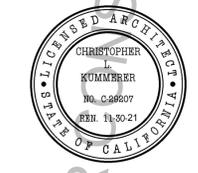
**1 SITE PLAN**  
Scale: 1/8" = 1'-0"

14 4TH STREET

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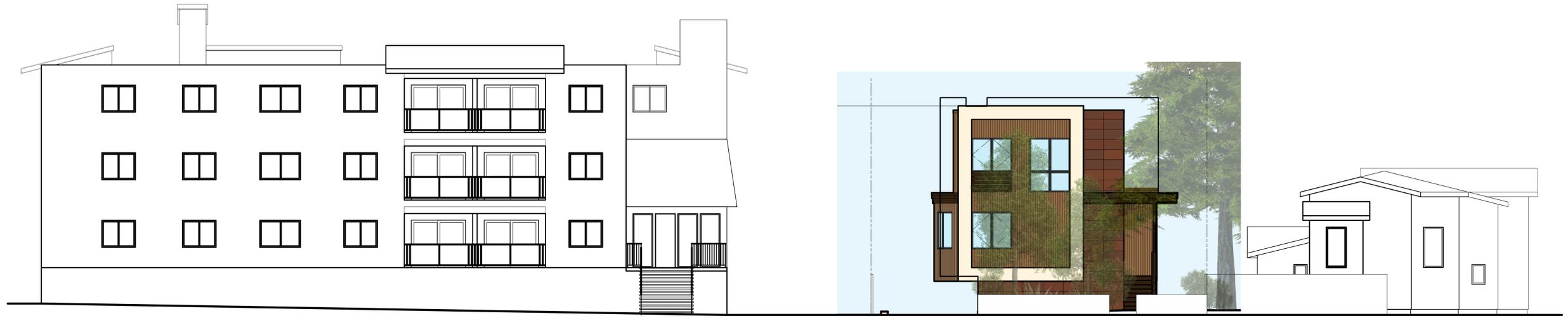
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SITE PLAN & SITE SECTIONS

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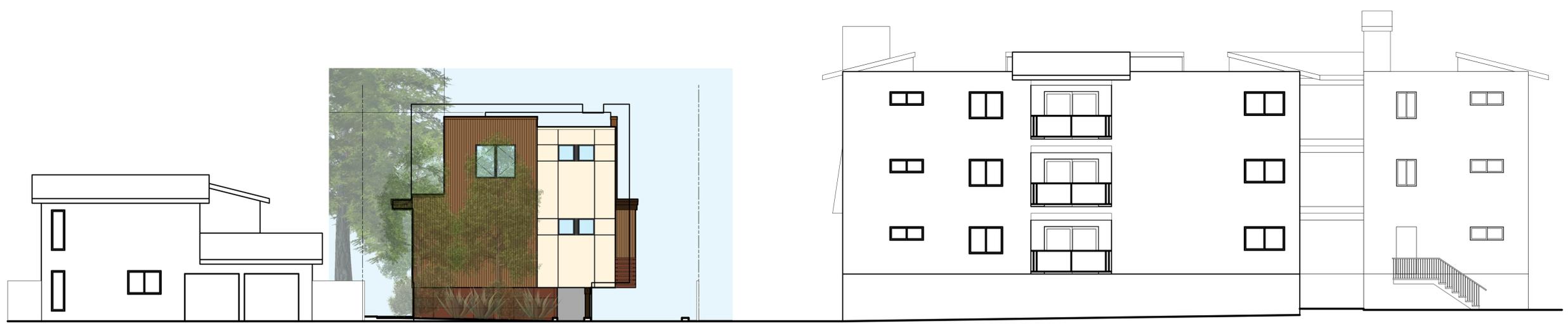




3 STREET ELEVATION - VIEW FROM 4TH STREET  
Scale: 1/8" = 1'-0"



2 STREET ELEVATION - VIEW FROM EDITH AVENUE  
Scale: 1/8" = 1'-0"



1 STREET ELEVATION - VIEW FROM BACK ALLEY  
Scale: 1/8" = 1'-0"

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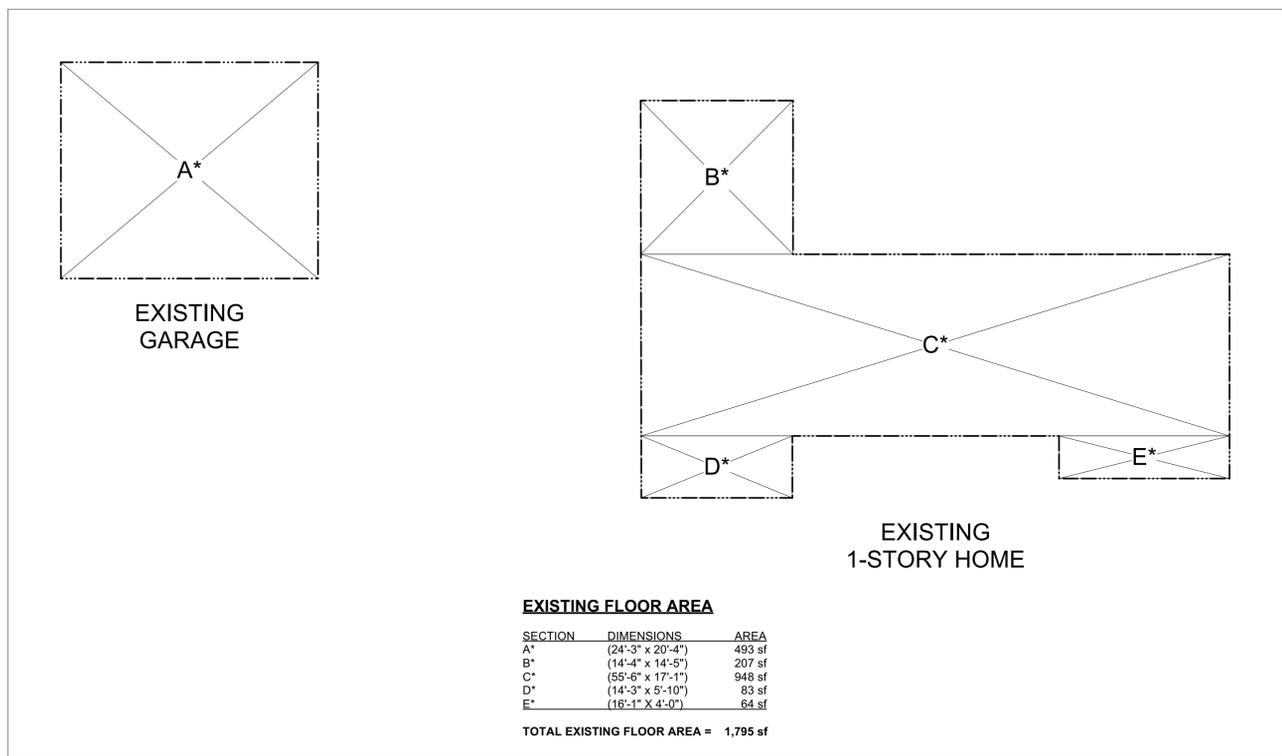


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STREET ELEVATIONS

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**LOT COVERAGE**

SECTION	DIMENSIONS	AREA
A	(23'-11 3/4" x 25'-0")	599.5 sf
B	(12'-4 1/2" x 5'-0")	61.9 sf
C	(8'-0" x 3'-0")	24.0 sf
D	(10'-8 3/4" x 3'-0")/2	16.1 sf
E	(23'-11 3/4" x 25'-0")	599.5 sf
F	(12'-4 1/2" x 5'-0")	61.9 sf
G	(8'-0" x 3'-0")	24.0 sf
H	(10'-8 3/4" x 3'-0")/2	16.1 sf
I	(23'-11 3/4" x 25'-0")	599.5 sf
J	(12'-4 1/2" x 5'-0")	61.9 sf
K	(8'-0" x 3'-0")	24.0 sf
L	(10'-8 3/4" x 3'-0")/2	16.1 sf
M	(24'-2 3/4" x 25'-0")	605.8 sf
N	(12'-4 1/2" x 5'-0")	61.9 sf
O	(8'-3" x 3'-0")	24.8 sf
P	(10'-8 3/4" x 3'-0")/2	16.1 sf

**TOTAL LOT COVERAGE = 2,813.1 sf**

**NET FLOOR AREA**

SECTION	DIMENSIONS	AREA
A	(23'-11 3/4" x 25'-0")	599.5 sf
B	(12'-4 1/2" x 5'-0")	61.9 sf
C	(8'-0" x 3'-0")	24.0 sf
D	(10'-8 3/4" x 3'-0")/2	16.1 sf
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O	(8'-3" x 3'-0")	24.8 sf
P	(10'-8 3/4" x 3'-0")/2	16.1 sf
Q	(23'-11 3/4" x 23'-0 3/4")	552.9 sf
R	(20'-3" x 1'-11 1/4")	39.3 sf
S	(23'-11 3/4" x 23'-0 3/4")	552.9 sf
T	(20'-3" x 1'-11 1/4")	39.3 sf
U	(23'-11 3/4" x 23'-0 3/4")	552.9 sf
V	(20'-3" x 1'-11 1/4")	39.3 sf
W	(24'-2 3/4" x 23'-0 3/4")	558.7 sf
X	(20'-3" x 1'-11 1/4")	39.3 sf

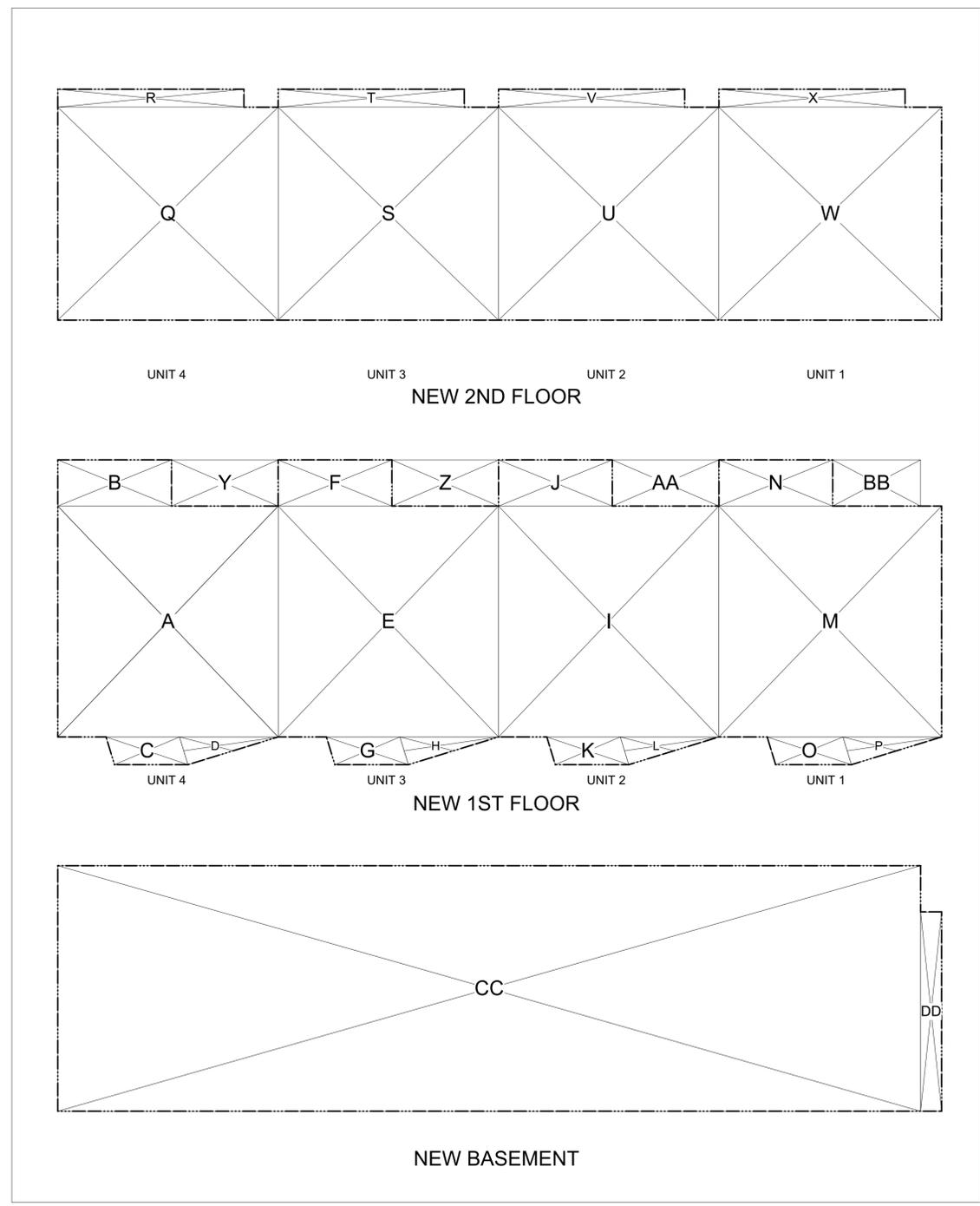
**TOTAL NET FLOOR AREA = 5,187.7 sf**

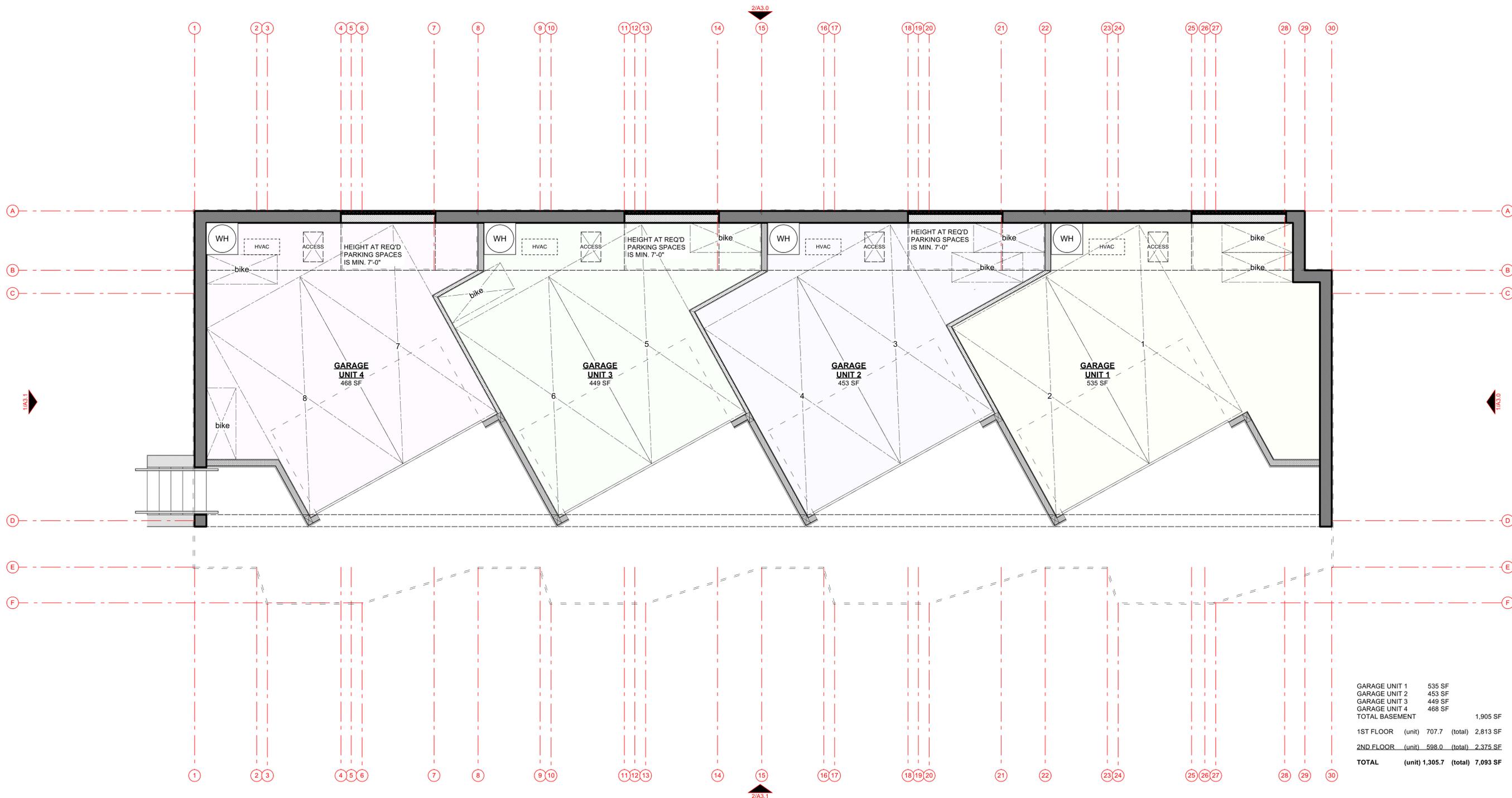
**GROSS FLOOR AREA**

SECTION	DIMENSIONS	AREA
A	(23'-11 3/4" x 25'-0")	599.5 sf
B	(12'-4 1/2" x 5'-0")	61.9 sf
C	(8'-0" x 3'-0")	24.0 sf
D	(10'-8 3/4" x 3'-0")/2	16.1 sf
E	(23'-11 3/4" x 25'-0")	599.5 sf
F	(12'-4 1/2" x 5'-0")	61.9 sf
G	(8'-0" x 3'-0")	24.0 sf
H	(10'-8 3/4" x 3'-0")/2	16.1 sf
I	(23'-11 3/4" x 25'-0")	599.5 sf
J	(12'-4 1/2" x 5'-0")	61.9 sf
K	(8'-0" x 3'-0")	24.0 sf
L	(10'-8 3/4" x 3'-0")/2	16.1 sf
M	(24'-2 3/4" x 25'-0")	605.8 sf
N	(12'-4 1/2" x 5'-0")	61.9 sf
O	(8'-3" x 3'-0")	24.8 sf
P	(10'-8 3/4" x 3'-0")/2	16.1 sf
Q	(23'-11 3/4" x 23'-0 3/4")	552.9 sf
R	(20'-3" x 1'-11 1/4")	39.3 sf
S	(23'-11 3/4" x 23'-0 3/4")	552.9 sf
T	(20'-3" x 1'-11 1/4")	39.3 sf
U	(23'-11 3/4" x 23'-0 3/4")	552.9 sf
V	(20'-3" x 1'-11 1/4")	39.3 sf
W	(24'-2 3/4" x 23'-0 3/4")	558.7 sf
X	(20'-3" x 1'-11 1/4")	39.3 sf
Y	(11'-7 1/4" x 5'-0")	58.0 sf
Z	(11'-7 1/4" x 5'-0")	58.0 sf
AA	(11'-7 1/4" x 5'-0")	58.0 sf
BB	(9'-6 3/4" x 5'-0")	47.8 sf
CC	(92'-10 1/2" x 26'-7")	2495.6 sf
DD	(2'-3 1/2" x 21'-7")	49.4 sf

**TOTAL GROSS FLOOR AREA = 7,954.5 sf**

(NOTE: GROSS FLOOR AREA INCLUDES BASEMENT AND EXTERIOR STAIRWAYS)





**14 4TH STREET**  
14 4TH STREET, LOS ALTOS, CA 94022  
APN# 167-38-061

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PAGE NUMBER:

**A2.0**

BASEMENT PLAN

GARAGE UNIT 1	535 SF		
GARAGE UNIT 2	453 SF		
GARAGE UNIT 3	449 SF		
GARAGE UNIT 4	468 SF		
TOTAL BASEMENT		1,905 SF	
1ST FLOOR	(unit) 707.7	(total) 2,813 SF	
2ND FLOOR	(unit) 598.0	(total) 2,375 SF	
TOTAL	(unit) 1,305.7	(total) 7,093 SF	

**1** BASEMENT PLAN  
Scale: 1/4" = 1'-0"



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**14 4TH STREET**  
14 4TH STREET, LOS ALTOS, CA 94022  
APN# 167-38-061

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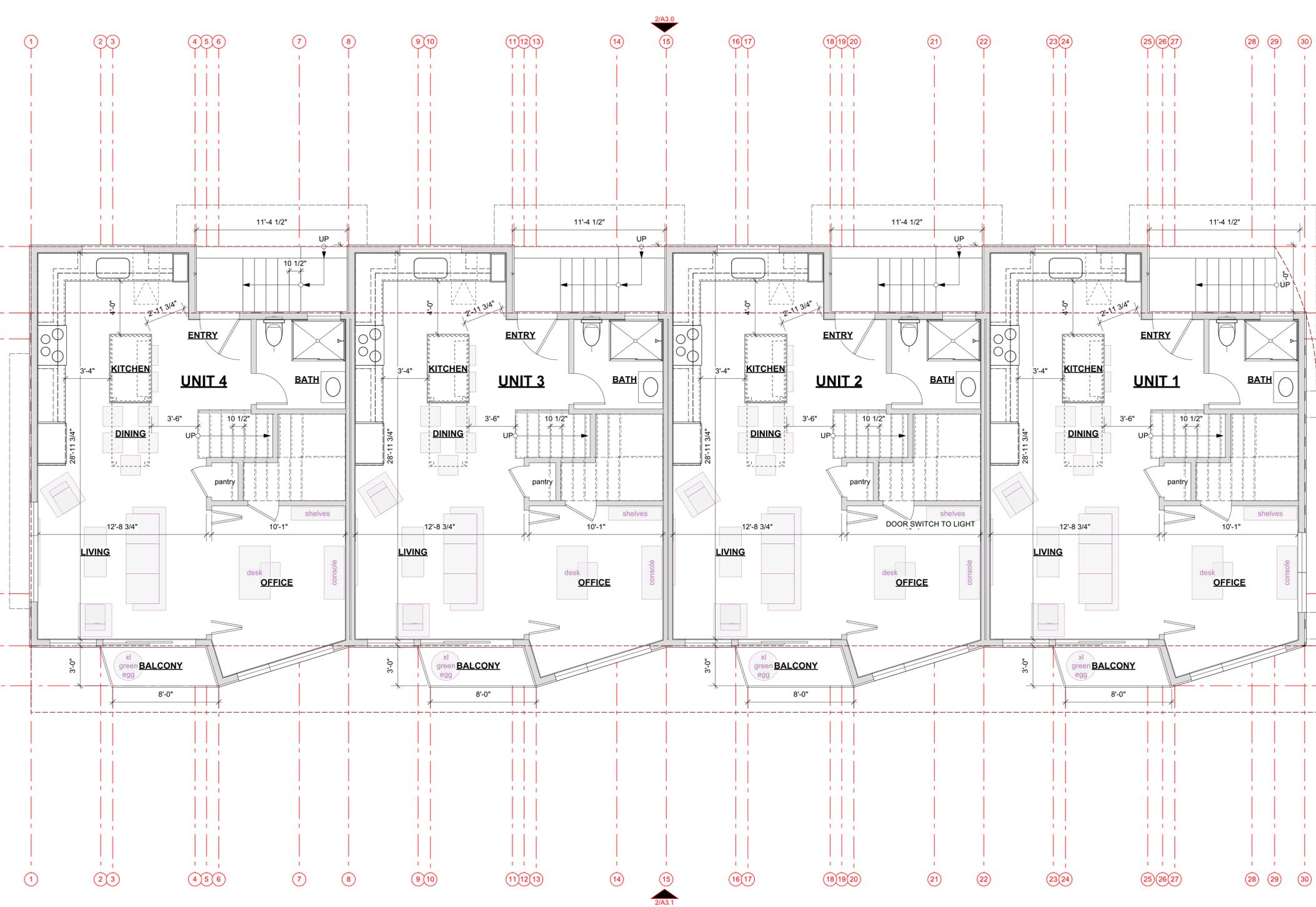
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**A2.1**

1ST FLOOR PLAN



1ST FLOOR SETBACK

2ND FLOOR SETBACK

2ND FLOOR SETBACK

1ST FLOOR SETBACK

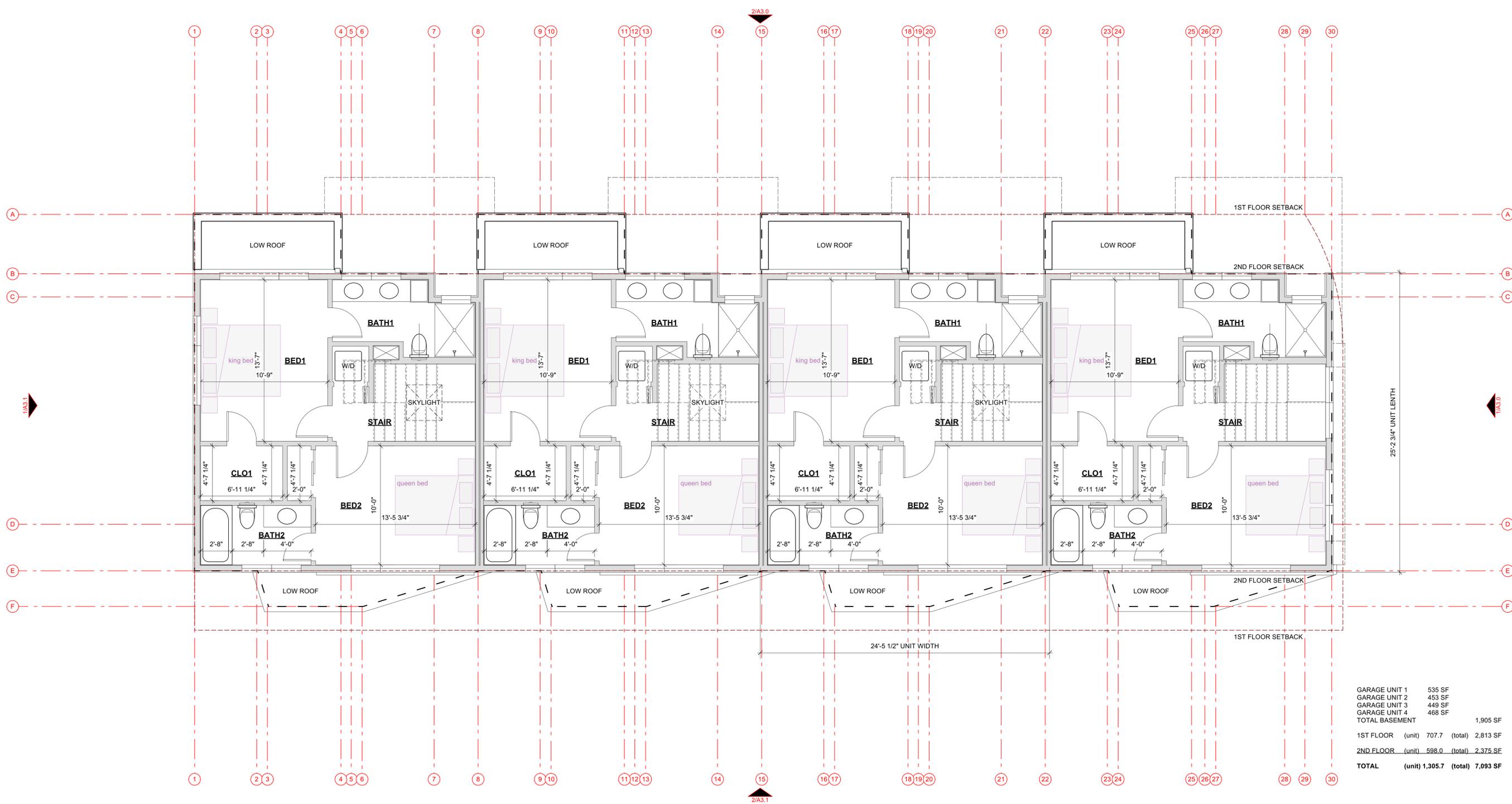
GARAGE UNIT 1	535 SF
GARAGE UNIT 2	453 SF
GARAGE UNIT 3	449 SF
GARAGE UNIT 4	468 SF
TOTAL BASEMENT	1,905 SF

1ST FLOOR	(unit) 707.7	(total) 2,813 SF
2ND FLOOR	(unit) 598.0	(total) 2,375 SF
<b>TOTAL</b>	<b>(unit) 1,305.7</b>	<b>(total) 7,093 SF</b>

**1** FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"



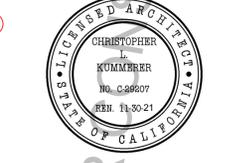
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**14 4TH STREET**  
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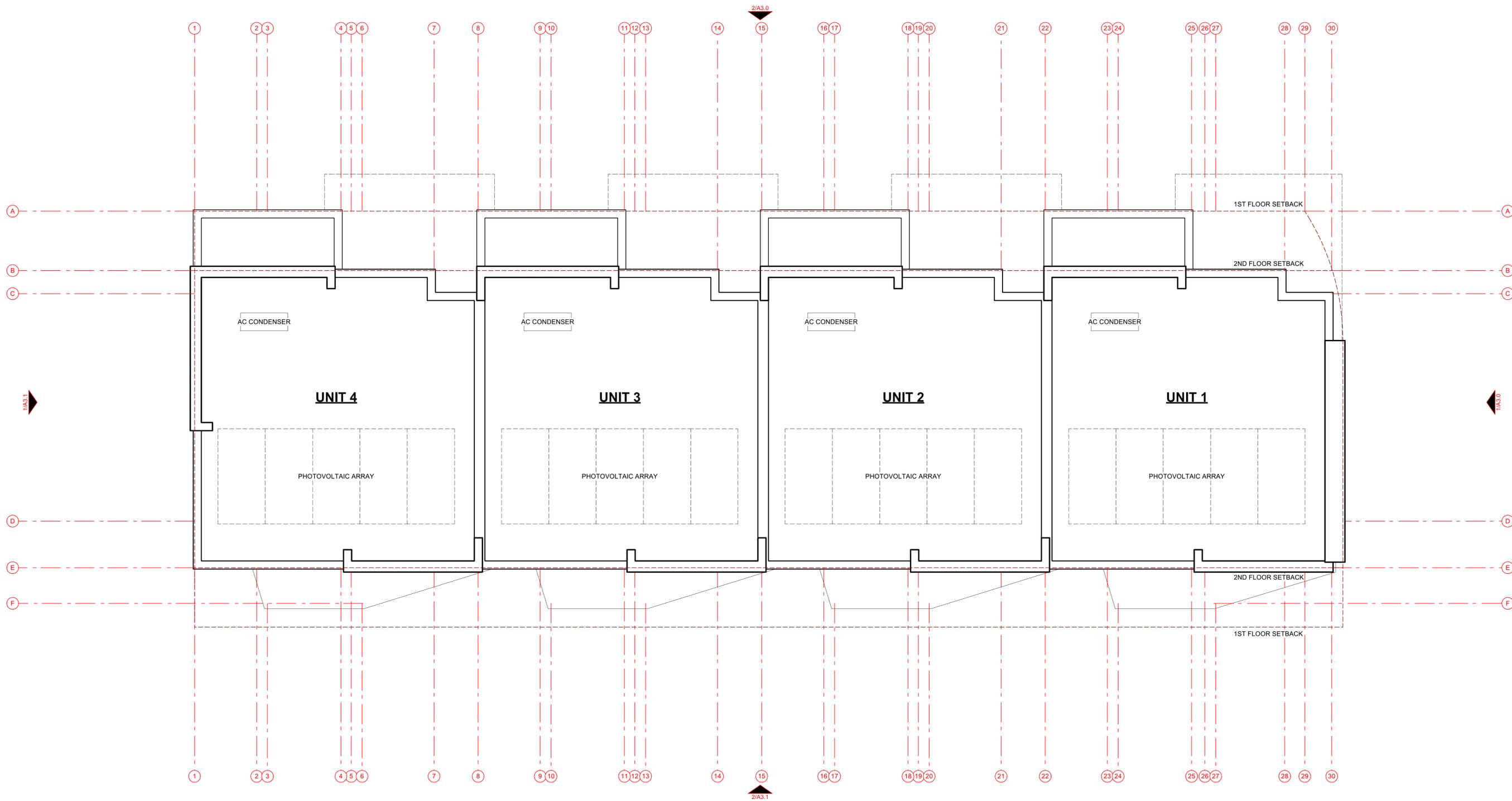
**A2.2**

2ND FLOOR PLAN

GARAGE UNIT 1	535 SF	
GARAGE UNIT 2	453 SF	
GARAGE UNIT 3	449 SF	
GARAGE UNIT 4	468 SF	
TOTAL BASEMENT		1,905 SF
1ST FLOOR	(unit) 707.7	(total) 2,813 SF
2ND FLOOR	(unit) 598.0	(total) 2,375 SF
<b>TOTAL</b>	<b>(unit) 1,305.7</b>	<b>(total) 7,093 SF</b>

**1 SECOND FLOOR PLAN**  
Scale: 1/4" = 1'-0"





**14 4TH STREET**  
14 4TH STREET, LOS ALTOS, CA 94022  
APN# 167-38-061

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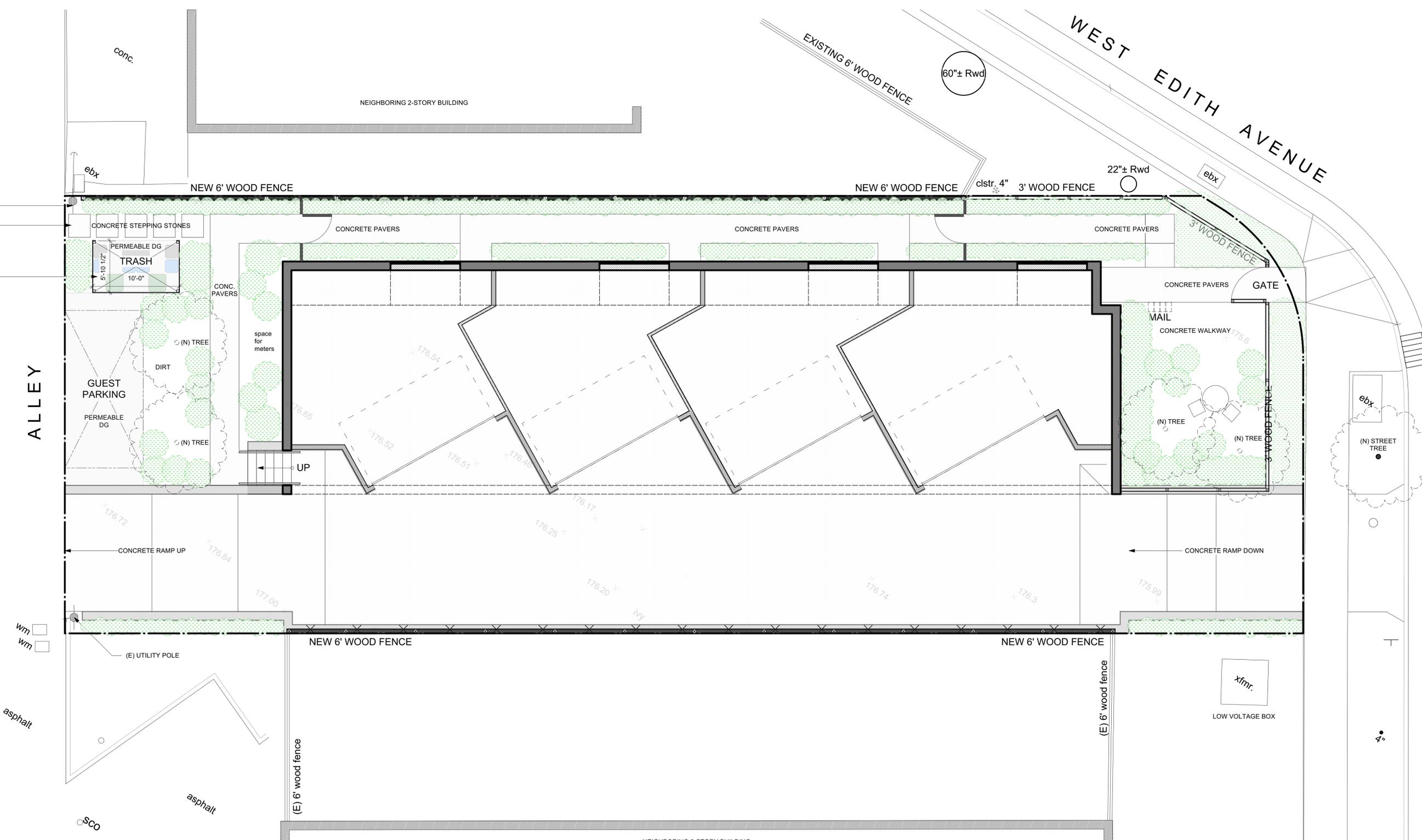
**A2.3**

ROOF PLAN

**1** ROOF PLAN  
Scale: 1/4" = 1'-0"



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**1** PRELIMINARY LANDSCAPE PLAN  
Scale: 3/16" = 1'-0"

**14 4TH STREET**  
14 4TH STREET, LOS ALTOS, CA 94022  
APN# 167-38-061

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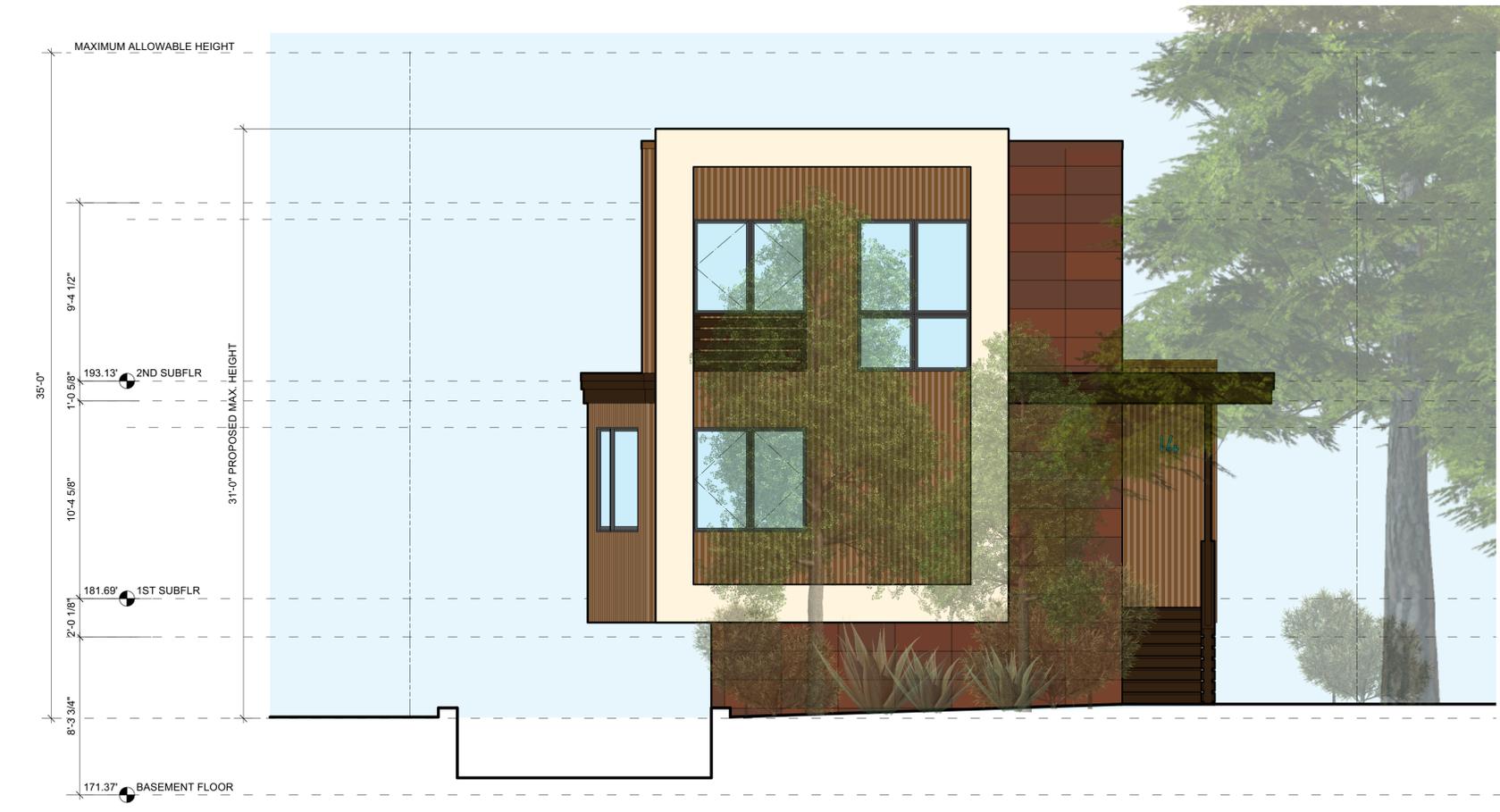
**A2.4**

LANDSCAPE PLAN

NOT FOR CONSTRUCTION



2 EXTERIOR ELEVATION (WALKWAY SIDE)  
Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATIONS (FOURTH STREET SIDE)  
Scale: 1/4" = 1'-0"

		
STUCCO CREAM PRIMARY WALL COLOR	FIBER CEMENT SIDING NEWTECHWOOD OR SIMILAR BRAZILIAN IPE EXTERIOR SIDING AND SOFFITS	DARK BRONZE WINDOW FRAME OVERHANGS PORCH STAIRS AND RAILINGS
		
ENTRY DOORS AND BALCONY RAILING INSPIRED FROM TERRA COTTA COLOR	DARK BROWNS TERRA COTTA TILE ACCENT WALLS	DARK GREY ACCENT STUCCO GARAGE WALLS AND GARAGE DOORS

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PAGE NUMBER:

A3.0  
EXTERIOR ELEVATIONS

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2 EXTERIOR ELEVATION (PARKING GARAGE SIDE)  
Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATIONS (ALLEY SIDE)  
Scale: 1/4" = 1'-0"



### MATERIALS KEY

STUCCO CREAM PRIMARY WALL COLOR	FIBER CEMENT SIDING NEUTECHWOOD OR SIMILAR BRAZILIAN IPE EXTERIOR SIDING AND SOFFITS	DARK BRONZE WINDOW FRAME OVERHANGS PORCH STAIRS AND RAILINGS
ENTRY DOORS AND BALCONY RAILING INSPIRED FROM TERRA COTTA COLOR	DARK BROWNS TERRA COTTA TILE ACCENT WALLS	DARK GREY ACCENT STUCCO GARAGE WALLS AND GARAGE DOORS



CHRIS KUMMERER & ASSOCIATES  
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2089 AVERY AVENUE, MENLO PARK, CA 94025  
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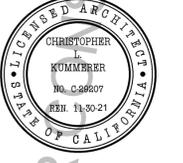
REVISIONS:  
2.16.2022 PRELIMINARY PLANNING  
COMMISSION SUBMITTAL

14 4TH STREET

14 4TH STREET, LOS ALTOS, CA 94022  
APN# 167-38-061

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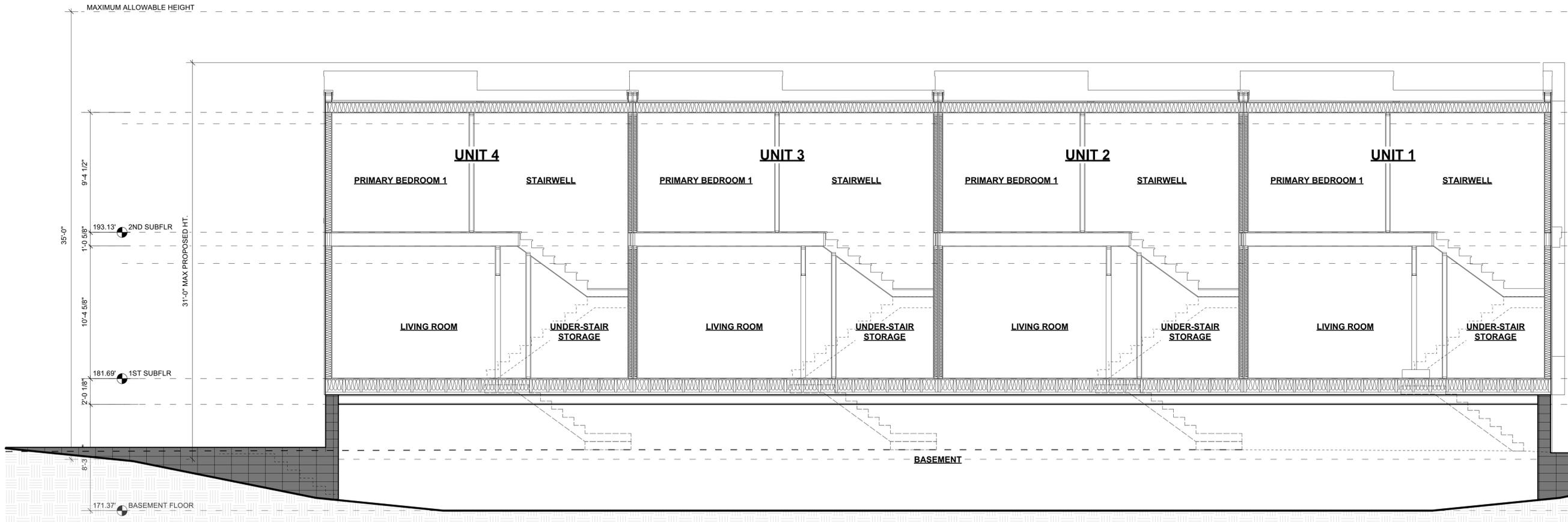


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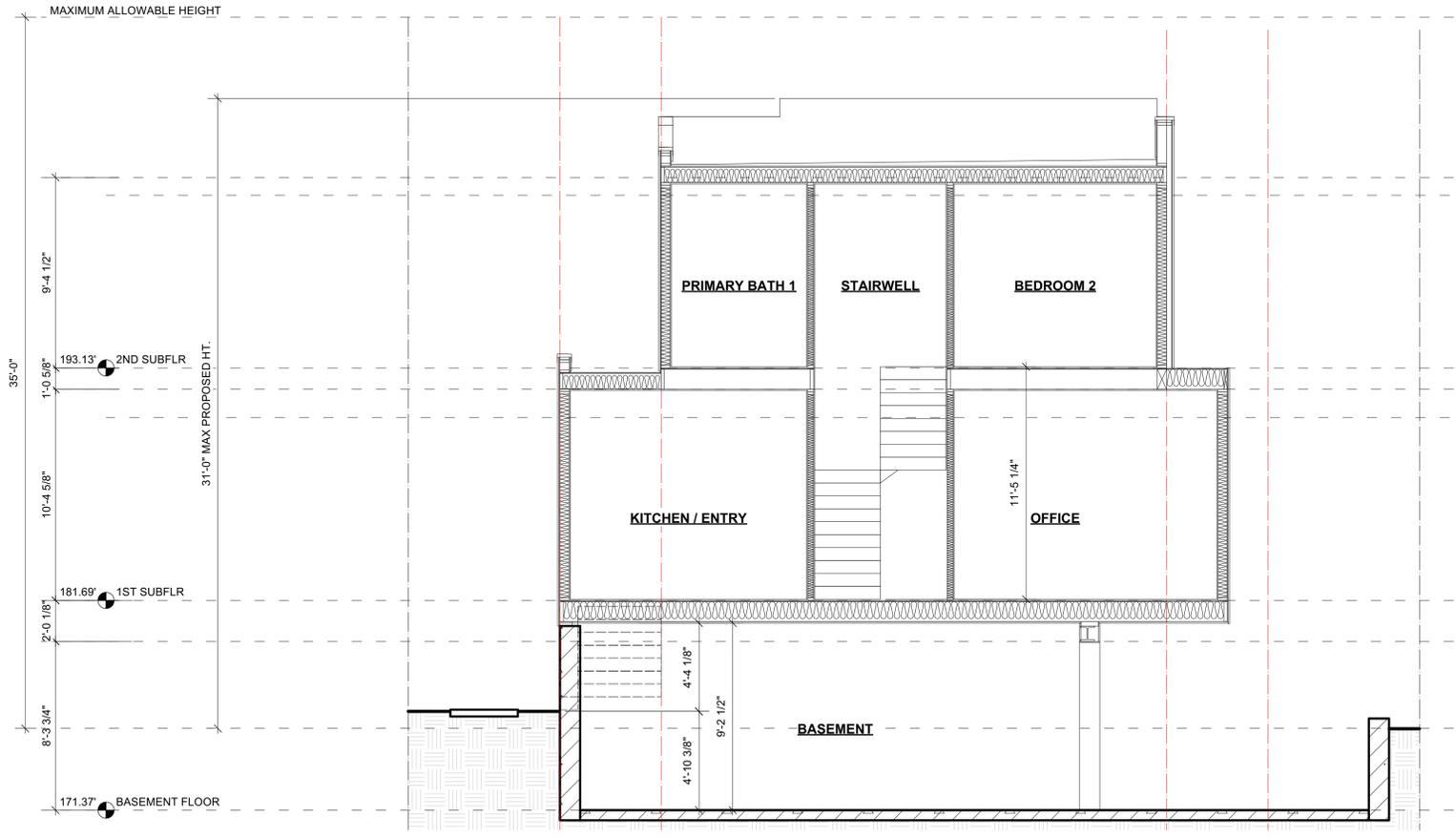
A3.1

EXTERIOR ELEVATIONS

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**2 SECTION**  
Scale: 1/4" = 1'-0"



**1 SECTION**  
Scale: 1/4" = 1'-0"

14 4TH STREET

14 4TH STREET, LOS ALTOS, CA 94022  
APN# 167-38-061

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SECTIONS

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e. Arcades. Arcades shall be supported by columns or piers in concrete/cast stone, fiberglass, or stucco. Archivolts and impostes shall be expressed using similar materials/appearance.

f. Structural elements. Structural elements visible on the building exterior (e.g. rafters, purlins, posts, beams, balconies, brackets, trusses, columns, arches, etc.), even when ornamental, shall be sized and spaced according to the corresponding structural role, and materials shall be selected accordingly (see A. Architectural Integrity).

5. Materials Allowed for Building Details/Ornament.

- Wood.
- Metal (wrought iron, copper, aluminum, tin).
- Glass fiber reinforced concrete (GERS)/fiberglass.
- Terra Cotta.
- Tile.
- Plaster.

E. Colors.

- A maximum of four colors shall be applied to be the building façade:
  - One primary color comprising fifty (50) percent or more of the façade excluding transparent surfaces.
  - One secondary color comprising no more than thirty (30) percent of the façade excluding transparent surfaces.
  - One tertiary color comprising no more than twenty (20) percent of the façade excluding transparent surfaces.
  - One accent color for use on trim and architectural details.
- Materials with intrinsic, naturally-occurring coloration shall not count towards this maximum. Such materials are limited to copper, Corten steel, unpainted wood, tile, and brick. Materials with prefinished color (stucco, cement fiberboard, colorized metal) shall count towards the maximum.
- Changes in color may occur:
  - To articulate changes between base, body, and top portions of a façade, which must be separated by a cornice or profile or a change in material and must remain consistent across the length of the façade bay.
  - When a portion of the elevation is articulated as a separate building with a break in the roof form and a step back in the façade plane five feet or greater or step up in façade height at least ten (10) feet.
  - On attached elements, such as bay windows, orioles, and balconies.

F. Façade Lighting. Façade lighting shall be incorporated into all storefront design and all façades facing an R-1 district. Fixtures shall be:

- Shielded and directed onto the building façade.
- Consistent in style with the primary building.

G. Habitable Outdoor Space. Private, habitable outdoor space supported by the building structure, such as balconies or terraces, shall be either uncovered or sheltered. The following patterns are strongly recommended:

- Pergola: Posts supporting beams with brackets, which in turn support purlins and/or rafters. Posts shall be no narrower in any dimension than 3.5" or 1/20 of the unbraced post length, whichever is greater.
- Trabeation: Posts or columns supporting beams with or without brackets, which in turn support either an additional floor level (for multi-story porches/balconies) or a full roof system based on rafters and/or purlins with decking and finish material. Posts shall be no narrower in any dimension than 3.5" or 1/20 of the unbraced post length, whichever is greater. The distance between posts shall be no wider than the total post height.
- Arccuation: Encompassed by walls that are penetrated by arched openings bounded by either columns or piers. The ratio of column diameter [at lowest part of shaft] to column height shall be no less than 1:10 and no greater than 1:7. Width of piers at corners [abutments] shall be no less than 1/3 of the opening width; piers between multiple arched openings may be narrower.
- Rectilinear: Bounded by square/rectangular piers framing rectilinear wall openings. If lintels are expressed on the façade, they shall extend over the piers by 4"—6" at each end. Piers shall be no narrower in any dimension than 15.5" or 1/6 of the opening width, whichever is greater. Piers at corners shall be wider than piers between openings.
- Fabric Shading: Shaded by fabric elements such as awnings or stretched canvas, secured to the building structure, sheltered by Main Roof Form, supported by other building volumes.
  - Cantilevered balconies shall be secured architecturally to the wall below by brackets.
  - Bracket material shall be consistent with that of the balcony's floor structure.

H. Historic Preservation.

- Additions to buildings with historic designation shall be identifiable from original construction. Additions shall employ similar or complementing materials and colors and shall exhibit similar opening proportions, façade rhythms and horizontal elements as the original.
- Original transom windows shall be maintained or restored where possible. If the ceiling inside the structure has been lowered, the ceiling shall be stepped up to meet the transom so that light will penetrate building interior.
- Deteriorated architectural features shall be repaired rather than replaced wherever possible. If replacement is necessary, new materials shall match the original in design, color, texture, and other visual qualities. If the original was painted, the substitute materials shall be painted as well.

I. Sustainability in Design.

- All new construction shall incorporate landscaping and fenestration to passively cool the building: energy-efficient HVAC, and energy efficient lighting.
- All energy generation devices must blend in with the building color.
- All on-site landscaping shall be drought-resistant and require minimal irrigation.

J. On-site landscaping.

- Trees proposed within street-facing setbacks must be selected from the Los Altos Street Tree Planting List.
- Trees planted on the south side of the building must be deciduous.
- Species shall be selected and located according to direct sunlight needs.
- Vegetation shall be installed along all exposed east and west facing walls.
- Groundcovers shall be planted over a minimum fifty (50) percent of landscaped areas to prevent ground reflection and keep surfaces cool.
- When parking is tucked under a building, landscape planters must be provided to break up the continuous paving at the building's edge.

K. Screening.

- Rooftop mechanical equipment must be screened from public view.
- Barbed wire, chain-link, and razorwire are not permitted.

14.66.275 - Entrance type standards.

A. Stoop.



NOT APPLICABLE

ORNAMENT IS TERRA COTTA TILE, WOOD AND METAL

COLORS ARE 1: WOOD, 2: STUCCO 3: TILE, 4: WINDOWS/ GUTTERS/ METAL/ STUCCO SKIRT ON SIDES (DARK)

WOOD IS 50%

STUCCO IS 30%

TILE IS 20%

DARK METAL ACCENT COLOR

NO FACADE LIGHTING- ONLY DOWNLIGHTS FROM EAVES AT PORCHES, BALCONIES AND ENTRIES.

BALCONIES ARE COVERED (SHELTERED) FOR BETTER USE AND WATERPROOFING

NOT APPLICABLE

CROSS VENTILATION PASSIVELY COOLS THIS BUILDING. EAVE AT PORCHES BLOCKS HEAT GAIN, WESTERN FACADE HAS MINIMAL WINDOWS REDUCING HEAT GAIN

ENERGY GENERATION IS NOT VISIBLE (ON ROOF BEHIND PARAPET)

PLANTS WILL BE DROUGHT TOLERANT

PLANTS WILL COMPLY WITH THIS SECTION

ROOFTOP MECHANICAL IS SCREENED BY PARAPET

THE APPLICANT HAS DECIDED NOT TO USE RAZOR WIRE IN THIS PROJECT

FRONT ENTRY CONFORMS WITH STOOP DIMENSIONS (ALTHOUGH THESE ENTRY OPTIONS SEEM TO BE AIMED AT COMMERCIAL USES - NOT RESIDENTIAL)



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REVISIONS:  
2.16.2022 PRELIMINARY PLANNING  
COMMISSION SUBMITTAL

14 4TH STREET  
14 4TH STREET, LOS ALTOS, CA 94022  
APN# 167-38-061

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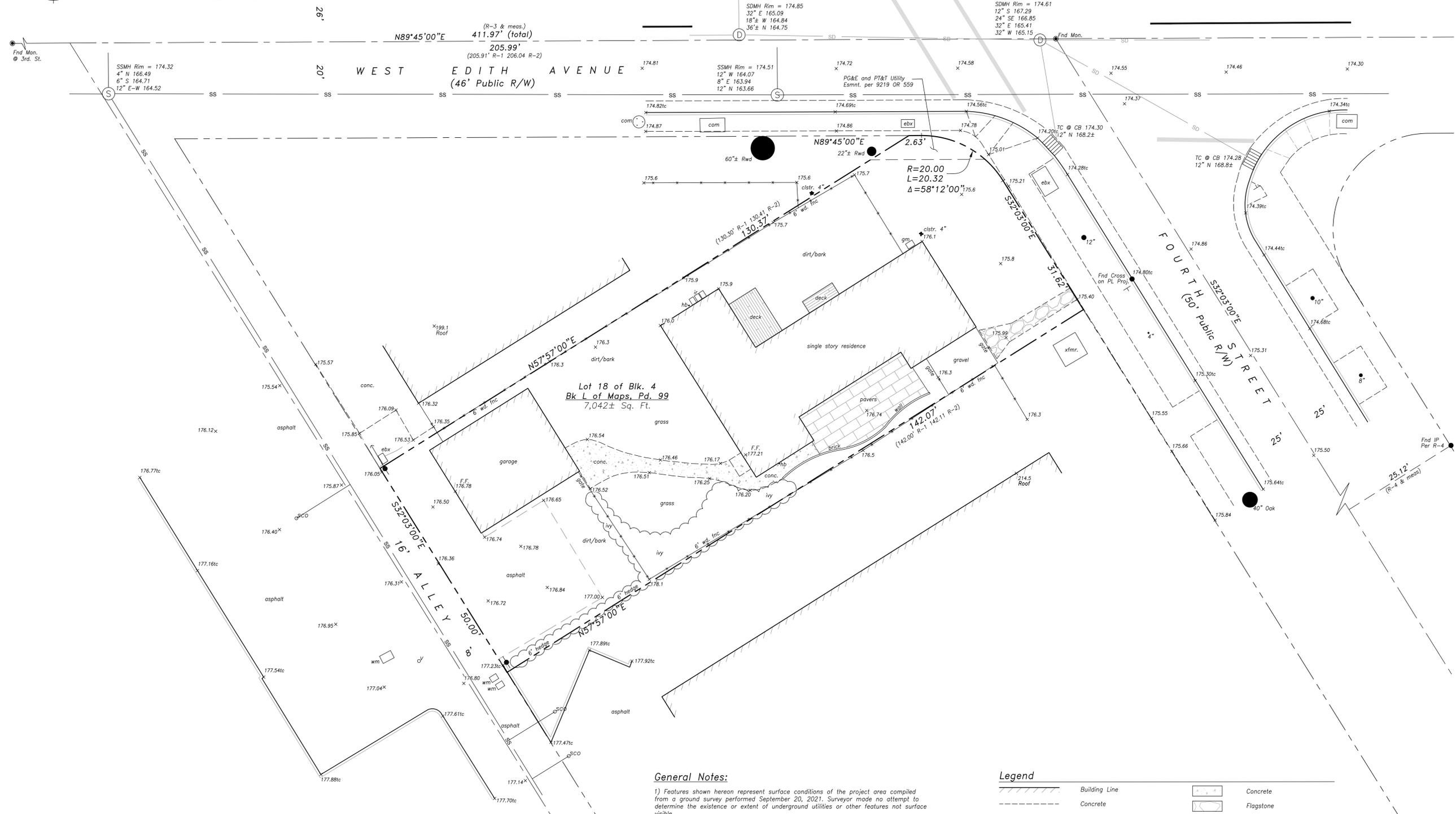
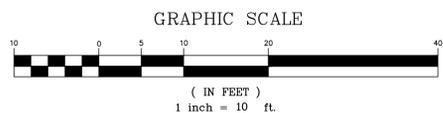
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A4.2

DESIGN CONTROL

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**General Notes:**

1) Features shown hereon represent surface conditions of the project area compiled from a ground survey performed September 20, 2021. Surveyor made no attempt to determine the existence or extent of underground utilities or other features not surface visible.

**Datum Note:**

- 1) Horizontal datum is based upon an assumed local coordinate system.
- 2) Vertical datum is based upon Los Altos benchmark 15, a brass disc set in the top of curb at the east side of San Antonio Road on the projected centerline of West Edith Ave. Top of disk elevation taken as 175.17' per "City of Los Altos Bench Mark Circuit Map".
- 3) Bearings shown hereon are based upon the monumented centerline of West Edith Avenue as shown in Book 888 of Surveys at Page 37; said bearing taken as North 89°45'00" East between found monuments located at 3rd and 4th Streets.
- 3) Temporary control points have been established hereon to perpetuate the datum for future use.

**Legend**

	Building Line		Concrete
	Concrete		Flagstone
	Concrete Grade Break		Pavers
	Curb		Sign
	Landscape Wall		Sanitary Sewer Cleanout
	Fenceline		Spot Elevation
	Communication Box		Tree Trunk / Size
	Drain Inlet		Utility Valve - Gas
	Electric Box		Water Meter
	Electric Panel		Water Valve
	Fire Hydrant		Book L of Maps, Page 99
	Gas Meter		Book 472 of Maps, Page 53
	Hose Bib		Book 888 of Maps, Page 37
	Irrigation Valve Box		Book 437 of Maps, Page 25

**Surveyor's Statement:**

I certify this survey was prepared by me or under my direction and is based upon a field survey in conformance with the Land Surveyor's Act.

*Charles M. Weakley*  
Charles M. Weakley, LS



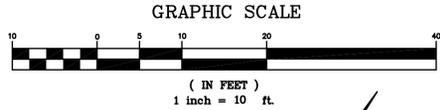
REV.	DATE	DESCRIPTION

APPROVED	DATE

**MOUNTAIN PACIFIC SURVEYS**  
 1735 Enterprise Dr., Suite 109  
 Fairfield, CA 94533  
 PH (707) 425-0334  
 FAX (707) 425-9809

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**14 FOURTH STREET**  
 APN: 167-38-061  
 CITY OF LOS ALTOS - SANTA CLARA COUNTY - CALIFORNIA

DATE	10-07-21
SCALE	1" = 10'
DRAWN	C.Weakley
CHECKED	
JOB NO.	521082
SHEET NO.	1
OF	1



**LEGEND / ABBREVIATIONS**

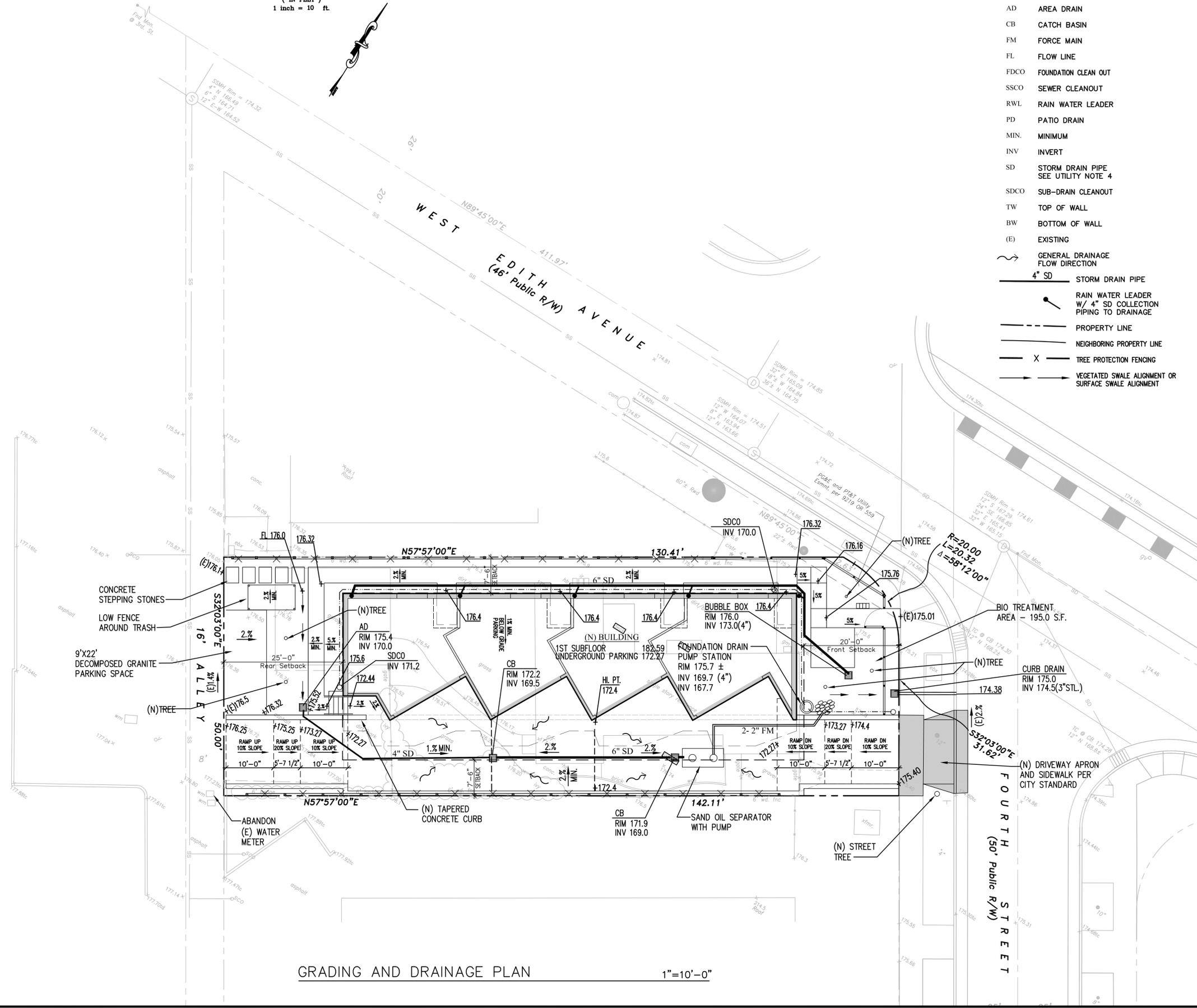
- SILT FENCE OR FIBER ROLL
- +101.8 SPOT SHOT (PROPOSED GRADE)
- AC ASPHALT
- AD AREA DRAIN
- CB CATCH BASIN
- FM FORCE MAIN
- FL FLOW LINE
- FDCO FOUNDATION CLEAN OUT
- SSCO SEWER CLEANOUT
- RWL RAIN WATER LEADER
- PD PATIO DRAIN
- MIN. MINIMUM
- INV INVERT
- SD STORM DRAIN PIPE SEE UTILITY NOTE 4
- SDCO SUB-DRAIN CLEANOUT
- TW TOP OF WALL
- BW BOTTOM OF WALL
- (E) EXISTING
- ~ GENERAL DRAINAGE FLOW DIRECTION
- 4" SD STORM DRAIN PIPE
- RAIN WATER LEADER W/ 4" SD COLLECTION PIPING TO DRAINAGE
- PROPERTY LINE
- NEIGHBORING PROPERTY LINE
- X TREE PROTECTION FENCING
- VEGETATED SWALE ALIGNMENT OR SURFACE SWALE ALIGNMENT

**GENERAL NOTES:**

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH ARCHITECTURAL PLANS.
2. TOPOGRAPHIC INFORMATION PROVIDED BY MOUNTAIN PACIFIC SURVEYS, DATED OCTOBER 07, 2021.
3. SLOPE PORCHES, LANDINGS AND TERRACES 2% AWAY FROM RESIDENCE.
4. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% AWAY FROM RESIDENCE.
5. CONTRACTOR TO CONTACT SOILS ENGINEER TO COORDINATE INSPECTIONS AT LEAST ONE WEEK PRIOR TO PENDING INSPECTIONS.
6. ALL EARTHWORK AND SITE DRAINAGE, INCLUDING BASEMENT EXCAVATION, FOUNDATION EXCAVATIONS, SWIMMING POOL EXCAVATION, PREPARATION OF SUBGRADE BENEATH SLABS-ON-GRADE, PLACEMENT AND COMPACTION OF ENGINEERED FILL AND INSTALLATION OF SURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC., DATED APRIL 18, 2016. MURRAY ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (850-559-9980) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK, FOUNDATIONS, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.
7. IT IS RECOMMENDED THAT AN AS-BUILT PLAN FOR THE DRAINAGE SYSTEM BE PREPARED AT THE COMPLETION OF CONSTRUCTION.
8. THE OWNER RECOGNIZES THAT THE DRAINAGE FACILITIES WILL NEED TO BE PERIODICALLY CLEANED OF DEBRIS DURING THE FUNCTIONAL LIFE OF THE SYSTEM.
9. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
10. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM.
11. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444, 48 HOURS PRIOR TO EXCAVATION.
12. FOR ADDITIONAL SITE LAYOUT INFORMATION SEE ARCHITECTURAL PLANS.
13. PRIOR TO CONSTRUCTING ANY IMPROVEMENT WITHIN THE PUBLIC RIGHT OF WAY, CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO STARTING ANY WORK. APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING TO CITY FOR ENCROACHMENT PERMIT.
14. CONTRACTOR SHALL ADHERE TO "BEST MANAGEMENT PRACTICES" (BMP'S) GUIDELINES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, AND DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS.
15. CONTRACTOR SHALL REVIEW AND UNDERSTAND GRADING AND DRAINAGE GUIDELINES SET FORTH IN THE GEOTECHNICAL REPORT PRIOR TO STARTING ANY SITE WORK.
16. CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARD WHEN GRADING AND EXCAVATING.
17. CONTRACTOR AND OWNER SHALL ADHERE TO NOISE ORDINANCE. ALL TRENCHES IN THE CITY'S RIGHT OF WAY SHALL COMPLY WITH CITY STANDARDS. ALL CONCRETE WORK IN THE CITY'S RIGHT OF WAY SHALL COMPLY WITH CITY STANDARDS.
18. APPLICANT/CONTRACTOR SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS, EXISTING OR DAMAGED BY CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE ON JAY STREET.
19. STORM WATER RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.
20. BASEMENT DRAINAGE IS CONCEPTUAL. OWNER AND CONTRACTOR SHALL CONSULT WITH BASEMENT DRAINAGE AND WATERPROOFING EXPERT TO CONFIRM DESIGN OF DRAINAGE AND PUMP STATION. GEOTECHNICAL ENGINEER SHALL INSPECT ALL BASEMENT SUB-DRAINAGE PRIOR TO CONCRETE POUR.

EARTHWORK TABLE	CUT	FILL
BUILDING	360 CY	0 CY
DRIVEWAY	350 CY	0 CY
REAR/FRONT/SIDE YARD	30 CY	0 CY
TOTAL	740 CY	0 CY

EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER. EARTHWORK QUANTITIES HAVE BEEN PROVIDED FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL ESTIMATE HIS/HER OWN QUANTITIES TO COMPLETE JOB PER CONTRACT WITH OWNER.



GRADING AND DRAINAGE PLAN 1"=10'-0"

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14 FORTH STREET  
 14 FOURTH STREET  
 SANTA CLARA COUNTY

Los Altos

CONTENTS:  
 GRADING AND DRAINAGE PLAN

DATE 01/06/22  
 SCALE AS NOTED  
 REVISIONS:  
 DRAWN J.G.  
 CHECKED C.B.  
 JOB No. 2021772  
 SHEET No.  
**C-1**  
 OF SHEETS

